

17/03/2016
C131**SCHEDULE 9 TO THE DESIGN AND DEVELOPMENT OVERLAY**

Shown on the planning scheme map as **DDO9**.

ROWVILLE ACTIVITY CENTRE RESIDENTIAL OPPORTUNITY SITES**1.0**17/03/2016
C131**Design objectives**

- To achieve quality, innovative architectural design and a diversity of housing stock.
- To direct higher residential development to preferred locations within the Rowville Activity Centre.
- To ensure that development acknowledges and responds to the context and physical characteristics of adjoining sites, including residential interfaces.
- To encourage a gateway treatment for the entrance to Stamford Park along Emmeline Row, which is characterised by an open entry experience for pedestrians and drivers and high visibility of Stamford Park from Stud Road.
- To encourage innovative, high quality architectural design that incorporates principles of Environmentally Sensitive Design and Water Sensitive Urban Design.

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C131**Buildings and works**

The following requirements apply to buildings and works on land identified as Opportunity Sites in Figure 1 to this schedule:

Building height

The height of any building, excluding any basement, should not exceed 13.5 metres, or 4 storeys. Any building that exceeds this height limit must:

- Demonstrate that the design is of exceptional quality and would exceed the high design quality already expected within the centre.
- Not create any additional impacts on the amenity of adjoining residential areas.

General

- Development must address all street frontages to enhance pedestrian amenity.
- Development must scale down in height towards existing residential interfaces and Stamford Park, including Emmeline Row, to: avoid imposing visual bulk; and reduce overshadowing and overlooking.
- Provide a landscaped front yard, including the planting of canopy trees.
- Significantly setback first and second floor levels from the ground floor level, with wide balconies fronting the street and any adjoining public spaces.
- Design buildings to provide a 6 metre front setback from the street.
- Provide single crossovers for driveways.
- Minimise the amount of paving in front yards and driveways.
- Provide no fencing, or low or transparent front fencing.

- Development must incorporate appropriate measures to increase its environmental sustainability.
- Development must incorporate appropriate Water Sensitive Urban Design principles.
- Retain existing canopy trees and understorey planting, wherever possible.

1. Former Pool & Spa Display Centre, 1060 Stud Road

- Higher density residential development, which may take the form of an apartment building must include a range of dwelling sizes.
- Development should be designed to ‘wrap’ around the Stud Road/Emmeline Row corner, providing high quality architecture that is sensitive to the adjacent historic Stamford Park. This should be achieved through the use of appropriate materials, and colours and landscaping.
- Development should be designed to create a gateway feel to complement the entry to Stamford Park along Emmeline Row. This may include significant ground level setbacks from Emmeline Row and/or significant setbacks of upper floor levels from the ground floor level along Emmeline Row.
- Residential development should take advantage of views to the Corhanwarrabul Creek, and Stamford Park.

2. Australia for Christ Fellowship (ACF) Church, 1070 Stud Road

- Higher density residential development, which may take the form of an apartment building must include a range of dwelling sizes.
- Built form is to be highest and most intense at the Stud Road frontage, and must scale down in height and intensity to: existing residential interfaces; and Stamford Park, including Emmeline Row.
- Development should take advantage of views to the Corhanwarrabul Creek, wetlands and Stamford Park.

3. Peppertree Hill Retirement Village, 15 Fulham Road

- Built form, which may include apartments, where it is to be highest and most intense should be oriented towards the Stud and Fulham Road frontages and must scale down to sensitive existing residential interfaces to the north and east.
- Development must consider the interface with the commercial land to the south to avoid any potential amenity issues for future residents.
- Development along the Fulham Road frontage must compliment the ‘main street’ theme envisaged on Fulham Road to the west of this site.

4. Veterinary Clinic, 1103 Stud Road

- Higher density residential development, which may take the form of an apartment building must include a range of dwelling sizes.
- Development must be site responsive and address the slope of the land.

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Decision guidelines

Before deciding on an application, the responsible authority must consider, as appropriate:

- Whether the proposed development addresses sensitive adjoining residential interfaces appropriately by stepping down in height adjacent to these areas.
- Whether the proposed development maintains a human scale of development at street level and provides active frontages.
- Whether the proposed development incorporates appropriate measures to increase its environmental sustainability.
- Whether the proposed development incorporates appropriate Water Sensitive Urban Design principles.
- Whether the scale, bulk, design and height of the proposed development makes a positive contribution to the area.

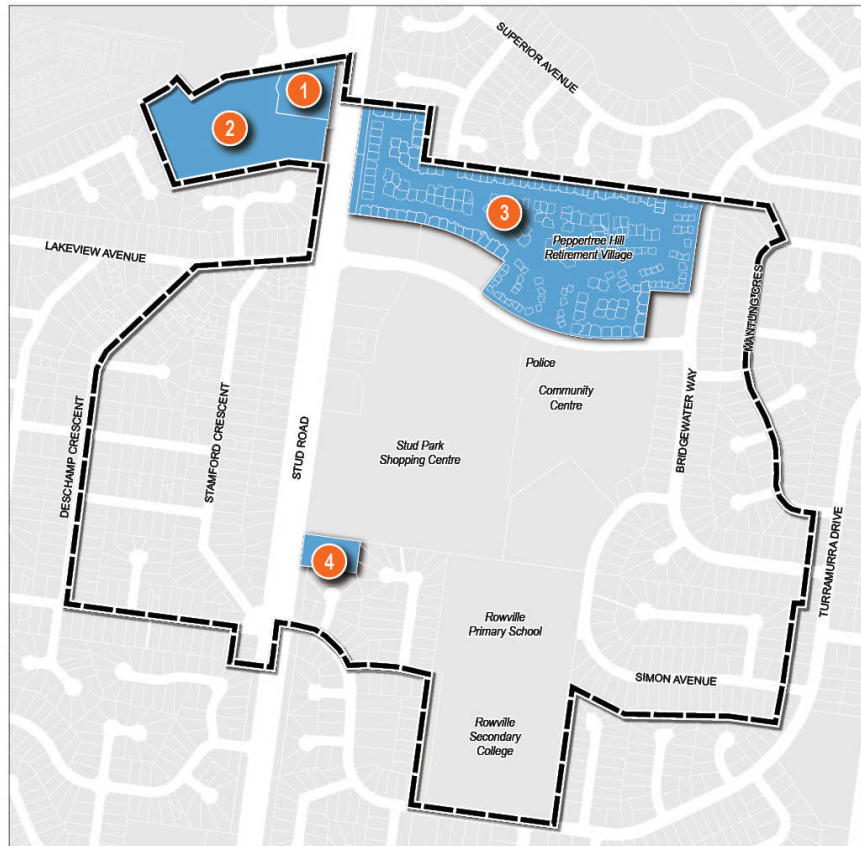
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Reference documents

The Rowville Plan, Knox City Council (2015)

Figure 1 Schedule 9 to the Design and Development Overlay



LEGEND

 Activity Centre Boundary

Proposed Opportunity Sites - Residential/Community Uses

-  Former Pool & Spa Display Centre
1060 Stud Road
-  Australia for Christ Fellowship (ACF) Church
1070 Stud Road
-  Peppertree Hill Retirement Village
15 Fulham Road
-  Veterinary Clinic
1103 Stud Road