

05/06/2014  
C136**SCHEDULE 6 TO THE NEIGHBOURHOOD CHARACTER OVERLAY**Shown on the planning scheme map as **NCO6****St Leonards Road Area, Ascot Vale****1.0 Statement of neighbourhood character**05/06/2014  
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The St Leonards Road area is a distinct pocket of intact and consistent interwar brick bungalows. The key components are the form, materials and design detail of each dwelling.

Buildings comprise a projected front room and prominent enclosed porch with pillars to the front door. Roofs are hipped and tiled with overhanging eaves and gable ends to either the front or side of the property. All buildings comprise decorative features with contrasting finishes or materials. Fences are consistently low. Buildings are regularly spaced and sited, with generally consistent front and side setbacks. Garages and carports are nonexistent or set to the side of the property, behind the building.

**2.0 Neighbourhood character objective**05/06/2014  
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- To ensure new development is consistent with the established front and side setbacks of the area.
- To ensure that new dwellings and alterations to existing dwellings reflect the established pattern of siting, materials and colours.
- To ensure any new garages, carports and outbuildings are complementary to the built form and obscured from the streetscape.
- To promote the use of steep and gable pitched roofs.
- To ensure any additions to an existing dwelling are complementary and do not compromise the neighbourhood character or streetscape.

**3.0 Permit requirement**05/06/2014  
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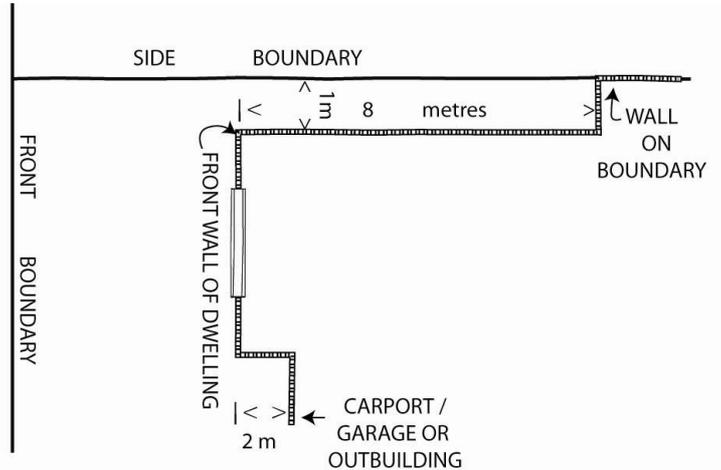
A permit is required to:

- Construct or extend an outbuilding normal to a dwelling, if the structure is visible from a street (other than a lane) or public park.
- Demolish or remove a dwelling.

**4.0 Modification to Clause 54 and Clause 55 standards**05/06/2014  
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Standard	Modified Requirement
Street Setback A3 and B6	Equal to the prevailing setback from the front street of all dwellings within the overlay.
Walls on boundaries A11 and B18	<p>A wall may be constructed on a boundary for a maximum of 10 metres where:</p> <ul style="list-style-type: none"> <li>▪ it is a carport, garage or outbuilding set back behind the front wall of the dwelling, and located on one side boundary only</li> </ul> <p>or</p> <ul style="list-style-type: none"> <li>▪ it is any other part of the dwelling and the building is set back a minimum of 1 metre from the side boundary for a distance of 8 metres from the front wall of the building.</li> </ul>

Standard	Modified Requirement
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<p>Design Detail A19 and B31</p>	<p>The design of buildings should respect the preferred neighbourhood character of the area, specifically in relation to:</p> <ul style="list-style-type: none"> <li>▪ Façade articulation and detailing</li> <li>▪ Window and door proportions</li> <li>▪ Roof form pitch and eaves</li> <li>▪ Verandahs, eaves and parapets</li> <li>▪ The number of storeys</li> <li>▪ Materials and finishes</li> <li>▪ Building siting</li> </ul> <p>New buildings should interpret the detailed elements of older dwellings that contribute to the neighbourhood character significance of the area in an innovative and contemporary manner that complements, rather than replicates, period dwelling styles.</p> <p>Second storey elements of new dwellings, and second storey additions to existing dwellings should be sited and designed so that the single storey part of the building, including its roof form, is the dominant visual element when viewed from the street. This will require second storey elements to be:</p> <ul style="list-style-type: none"> <li>▪ Set back a substantial distance from the front building façade and generally located behind the main ridgeline or highest point of the roof over the ground floor, and</li> <li>▪ Designed to complement the form and proportions of the existing dwelling or, if a new dwelling, other dwellings in the street.</li> </ul> <p>A garage, carport or car space constrained by walls should be:</p> <ul style="list-style-type: none"> <li>▪ Visually unobtrusive and compatible with the development and the preferred neighbourhood character.</li> <li>▪ A maximum width of 4 metres where visible from the street.</li> <li>▪ Located 2 metres behind the front wall of the dwelling.</li> </ul> <p>Hard paving surfaces within the front setback should be kept to a minimum.</p> <p>All other requirements of Standards A19 and B31 continue to apply.</p>
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<p>Front fence height A20 and B32</p>	<p>The design of front fences should complement the era and design of dwellings in the street.</p> <p>A front fence or a fence on the side boundary forward of the dwelling should not exceed a height of 0.8 metres.</p>
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## **5.0 Decision guidelines**

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Before deciding on an application, the responsible authority must consider, as appropriate:

- The extent to which the proposed buildings or works assist in respecting the neighbourhood character of the area.
- The extent to which any building to be demolished, extended or otherwise modified contributes to the neighbourhood character or the area.
- Whether any new building is sufficiently set back from the front and side boundaries to respect the predominant setbacks in the street
- Whether any new building or extension is complementary to the siting, materials and colours of the street.
- The extent to which garages, car ports and outbuildings are visible from the street.
- The use of steep, open and gable pitched roof forms.

### **Reference**

Moonee Valley Neighbourhood Character Study 2012, Planisphere