

22.0211/05/2017
C27**HERITAGE POLICY**

This policy applies to all land included in the Heritage Overlay.

This policy includes an overall Heritage Policy and 11 individual local planning policies that apply to particular heritage areas within the Borough (HO1, HO2, HO3, HO4, HO5, HO6, HO7, HO8, HO9, HO11 and HO84).

Heritage places will often include buildings, sites, works, trees, objects, streetscapes, precincts and settings.

Policy Basis

The Municipal Strategic Statement (MSS) identifies the need for a local policy to ensure the unique heritage character and significant heritage attributes of the Borough of Queenscliffe are recognised, acknowledged and preserved.

This policy:

- Provides a local response to Clause 15, Built Environment and Heritage of the State Planning Policy Framework.
- Builds upon the MSS objectives in Clause 21.04-2 relating to heritage conservation.
- Gives effect to the *Queenscliffe Urban Conservation Study* (1984).

Objectives

- To recognise, conserve and enhance buildings, sites, works, trees, objects, streetscapes, precincts and settings in the Borough identified as having architectural, cultural or historic significance.
- To ensure the continued aesthetic, historic, scientific or social value of the Borough's heritage places for past, present and future generations.
- To ensure that any additions, alterations and replacement buildings are sympathetic to the heritage place and/or its surrounds.
- To ensure that new development maintains, protects and enhances the distinguishing elements of the Borough's heritage character.
- To recognise the existing significance, character and appearance of heritage places and the contribution to the architectural or historical character and appearance of the locality.
- To ensure that subdivision or development which may result from subdivision does not adversely affect the significance, character or appearance of heritage places.
- To promote the recognition and protection of heritage places on Commonwealth land not protected by the Victoria Planning Provisions, but listed with Heritage Victoria.
- To ensure that an appropriate setting and context for heritage places is maintained

Policy**General**

- Before deciding on an application to use or develop land, including for buildings or works to be demolished, removed, altered or constructed, the responsible authority will consider, as appropriate:

- The heritage and cultural significance of buildings, sites, works, trees, objects, streetscapes, precincts and settings included in the Heritage Overlay, including the contributory elements.
- The existing character and appearance of the heritage place and the contribution of the heritage place to the architectural or historical character and appearance of the locality.
- The potential impact of a proposal, including the design, building materials, colours and general appearance, on the heritage values and architectural or historical character or appearance of the existing heritage place or site and/or on its setting and area.
- Subdivision will not be supported unless it can be demonstrated that the subdivision or development which may result from the subdivision will have no adverse impact upon the significance or understanding of heritage places included in the Heritage Overlay, including through:
 - the effects on the consistent rhythm and pattern of buildings;
 - the effects on the visual appearance of heritage places through the development of boundary fences and buildings;
 - the effects on significant view lines to and from heritage places;
 - the effects on historically important views and interrelationship of groups of buildings; and
 - the effects on the maintenance of an appropriate visual setting for heritage places.
- The demolition or alteration of heritage buildings will generally not be supported unless it can be demonstrated that:
 - the action will contribute to the long-term conservation of the significant fabric of the building; and
 - the demolition involves the removal of later insignificant modifications.
- The demolition of heritage buildings will generally not be supported until such time as replacement buildings or works have been approved and the owner or developer has entered into a bona fide construction of redevelopment.
- It is policy that in the event that Commonwealth control ceases on an area, building, place, object or work situated within the Borough, but listed with Heritage Victoria that these shall be given protection under the planning scheme.

Reference documents

Geelong Region Historic Buildings and Objects Study (Allan Willingham for the Geelong Regional Commission) 1986.

Queenscliffe Urban Conservation Study (Allom, Lovell and Associates Pty Ltd) 1984.

22.02-1

11/05/2017
C27

Fisherman's Flat Urban Conservation Precinct (HO1)

This policy applies to all land included in Heritage Overlay Schedule 1 – *Fisherman's Flat Urban Conservation Precinct*.

This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. This is shown at the described location as shown on Heritage Policy Map 1:

- 35 Beach Street:
 - *Araucaria heterophylla*, Norfolk Island Pine (T17).

Objectives

- To maintain and enhance the character of the area as a fishing village set apart from the main town centre.
- To retain the general uniformity in scale and massing of the buildings.
- To retain the locally unique subdivision pattern, with dual access to many properties.
- To encourage the use of the traditional building materials of the area, being timber weatherboard walls, timber-framed windows, corrugated iron roofs and brick chimneys.
- To facilitate and safeguard pedestrian movements within the area and particularly the wharf area.
- To ensure that the frontage setback of buildings is consistent with the dominant setback of adjoining buildings.
- To maintain traditional fencing in the area, such as low pickets, capped corrugated iron or twisted wire, and for new fencing to buildings, encourage the use of the traditional materials and construction techniques.
- To discourage vehicular traffic movements, particularly heavy vehicles, through the area.
- To encourage use of the traditional building design of the area, which include narrow eaves, gable roofs, verandahs, vertical rectangular windows and unbroken facades.
- To retain the historic integrity of the area in any replanting program.

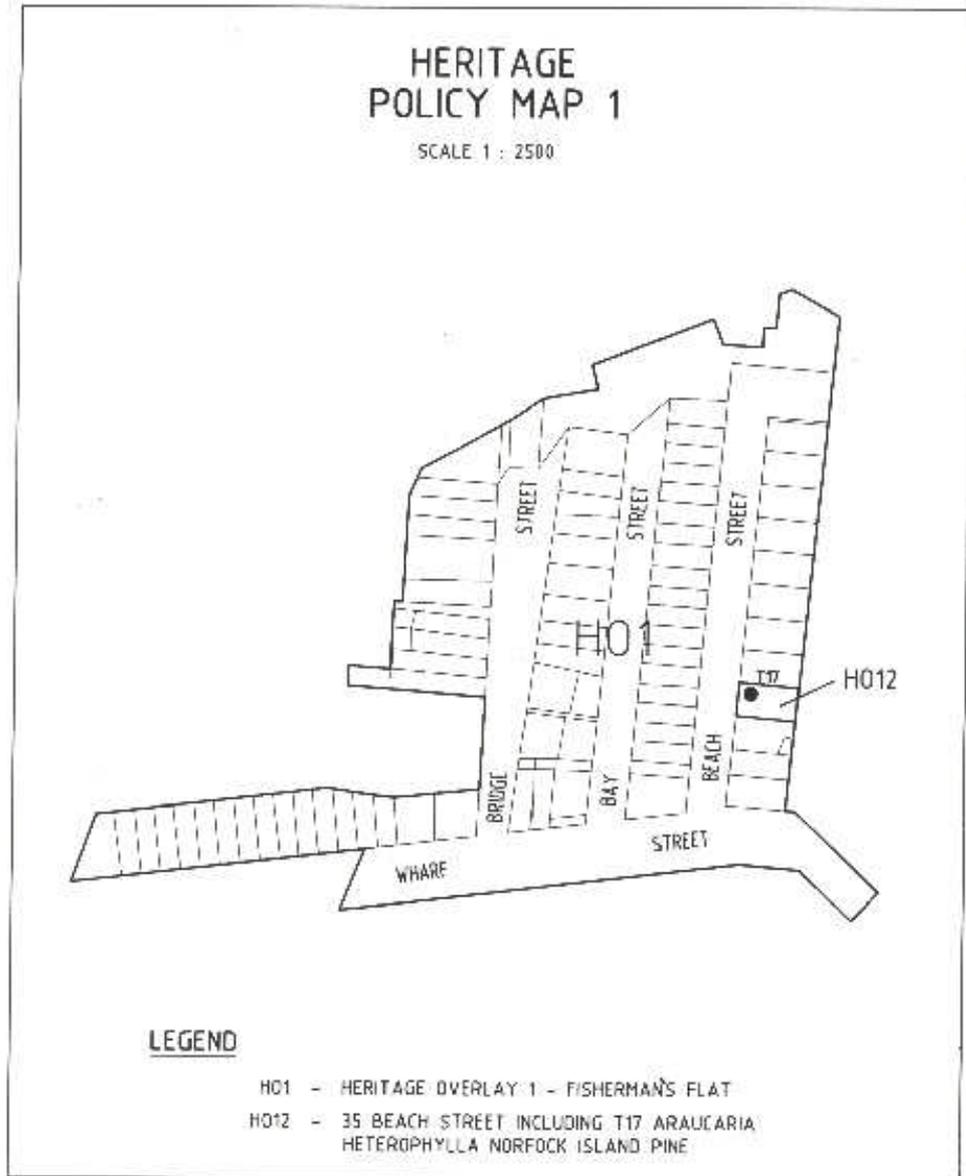
Policy

It is policy that:

- The policy objectives are considered in the assessment of any planning permit application.
- Subdivision of land will be discouraged, except to realign the boundary between lots.
- Preference will be given to buildings that incorporate the following design characteristics:
 - corrugated iron pitched roofs;
 - unbroken front facades and narrow eaves;
 - vertical rectangular timber-framed windows;
 - horizontal timber weatherboard cladding;
 - timber verandahs;
 - traditional fencing materials and construction techniques.
- In carrying out buildings and works, the following will apply:
 - The frontage setback should be the same as the setbacks of adjacent buildings, or if these are different, the setback may be between the setbacks of adjacent buildings;
 - The width of the facade of a dwelling should not be greater than 10 metres;
 - buildings must not exceed one storey;
 - the highest point of the roof of a building must not be greater than the highest adjacent building; and
 - fences should not exceed:

- for the frontage – 1300 mm;
- for side, rear or for vacant land – 2000 mm.

For proposals that seek to vary the policy requirements, the responsible authority will consider as appropriate, the extent to which it can be verified by photographic or other historical evidence that an equivalent structure once existed on the site.



22.02-211/05/2017
C27**Queenscliff Railway Station Urban Conservation Precinct (HO2)**

This policy applies to all that land included in Heritage Overlay Schedule 2 – *Queenscliff Railway Station, Urban Conservation Precinct*.

This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. This is shown at the described location as shown on the Heritage Policy Map 2:

- Queenscliff Railway Station, Symonds Street, Queenscliff.

Objectives

- To protect and enhance the relationship of the open space around the station to the open space and parkland on the eastern and northern boundaries of the town.
- To protect the historic complex of railway buildings, tracks and associated works.
- To protect the prominence of the precinct as one of the major historic entry points to the town and to the Fisherman's Flat area.
- To maintain the immediate area around the station complex as an open area.
- To encourage selective replanting along approach roads to the station precinct with species that existed in the area at the turn of the 19th century.
- To maintain where appropriate, and encourage the replanting of indigenous vegetation between the station precinct and Swan Bay, except in the immediate vicinity of the station precinct.
- To ensure that the frontage setback of buildings is consistent with the dominant setback of adjoining buildings.
- To encourage the use of traditional building materials characteristic of the precinct, including timber weatherboard walls, timber-framed windows, corrugated iron roofs and brick chimneys.
- To maintain traditional fencing treatments, including low pickets, and encourage the use of the traditional materials and construction techniques in new fencing.
- To encourage the use of the traditional building design of the precinct including narrow eaved gable roofs, verandahs, vertical rectangular windows and single and double fronted street facades;
- To retain the historic integrity of the precinct in any replanting program.

Policy

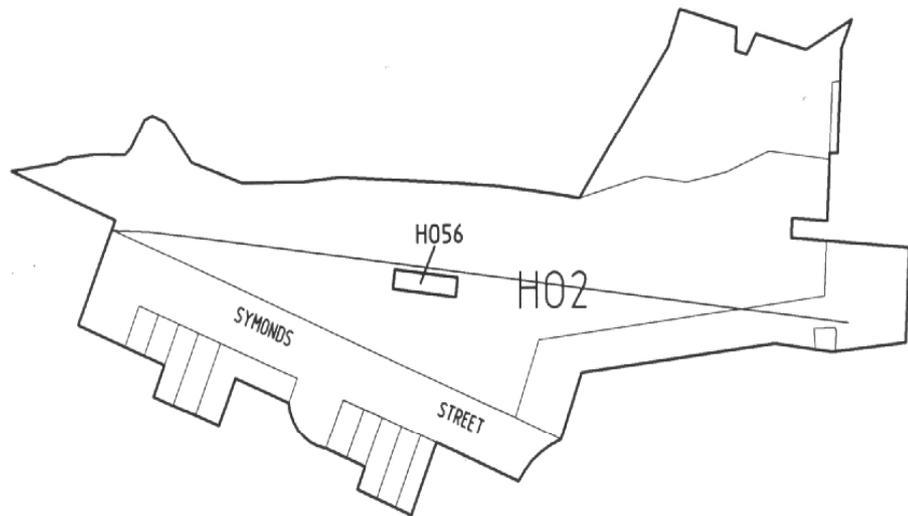
It is policy that:

- The policy objectives are considered in the assessment of any planning permit application.
- Subdivision is discouraged, except to realign the boundary between lots.
- Preference will be given to buildings that incorporate the following design characteristics:
 - corrugated iron pitched roofs;
 - broken front facades and narrow eaves;
 - vertical rectangular timber-framed windows;

- horizontal timber weatherboard walls;
- timber verandahs;
- traditional fencing materials and construction techniques.
- In carrying out buildings and works, the following will apply:
 - the frontage setback should be the same as the setbacks of adjacent buildings or if these are different, the setback may be between the setbacks of adjacent buildings;
 - the width of the facade of a dwelling should not be greater than 10 metres;
 - buildings should not exceed one storey.
 - fences should not exceed:
 - for the frontage - 1300 mm; and
 - for side, rear or for vacant land - 2000 mm.
- For proposals that seek to vary the policy requirements, the responsible authority will consider as appropriate, the extent to which it can be verified by photographic or other historical evidence that an equivalent structure once existed on the site.

HERITAGE POLICY MAP 2

SCALE 1 : 3000



LEGEND

- H02 - HERITAGE OVERLAY 2 - QUEENSCLIFF RAILWAY STATION
- H056 - RAILWAY STATION BUILDING

22.02-3

11/05/2017
C27

Queenscliff Piers And Parks Urban Conservation Precinct (HO3)

This policy applies to all land included in Heritage Overlay Schedule 3 – *Queenscliff Piers and Parks Urban Conservation Precinct*.

This policy applies to all land designated on the Heritage Policy Map 3, - known as Princess Park, Citizens Park, the shoreline and piers.

This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. This is shown at the described location as shown on the Heritage Policy Map 3:

- Pier, Shelter and Lifeboat Shed including interior
- *Araucaria heterophylla*, Norfolk Island Pine (T1) Citizens Park
- *Araucaria heterophylla*, Norfolk Island Pine (T2) Citizens Park
- *Araucaria heterophylla*, Norfolk Island Pine (T3) Citizens Park
- *Araucaria heterophylla*, Norfolk Island Pine (T4) Citizens Park
- *Ficus macrophylla*, Moreton Bay Fig (T5) Princess Park

Objectives

- To maintain and protect the Pier, Shelter Shed and Life Boat Shed, including interiors as key elements of the precinct.
- To maintain the dense quality of the planting to ensure that the area acts as an eastern buffer area between the sea and the town, and dominates seaward and landward views.
- To preserve and enhance the great natural beauty of the precinct generally and Princess Park in particular, by respecting the planting style and general landscape layout undertaken in the area in the early 1900's.
- To protect important view corridors that exist within the area, both from the piers shorewards, and the various glimpses of the foreshore buildings and structures obtained from the parks.
- To discourage use of park areas for carparking.
- To promote passive uses within parks, including picnicking, walking and casual play.
- To remove structures which interfere with both visual quality and proper public use.

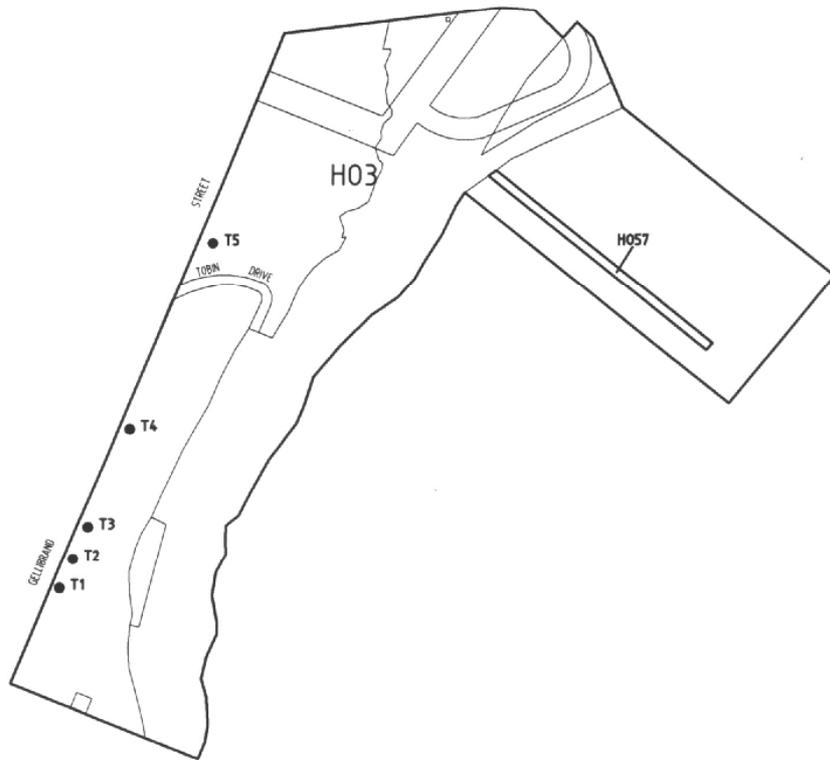
Policy

It is policy that

- The policy objectives are considered in the assessment of any planning permit application.

HERITAGE POLICY MAP 3

SCALE 1 : 5000



LEGEND

- H03 - HERITAGE OVERLAY 3 - PIER AND PARKS
- H057 - PIER, SHELTER SHED AND LIFE BOAT SHED (INCLUDING INTERIOR)
- T1 - ARAUCARIA HETEROPHYLLA NORFOCK ISLAND PINE CITIZENS PARK
- T2 - ARAUCARIA HETEROPHYLLA NORFOCK ISLAND PINE CITIZENS PARK
- T3 - ARAUCARIA HETEROPHYLLA NORFOCK ISLAND PINE CITIZENS PARK
- T4 - ARAUCARIA HETEROPHYLLA NORFOCK ISLAND PINE CITIZENS PARK
- T5 - FICUS MACROPHYLLA MORETON BAY FIG PRINCESS PARK

22.02-411/05/2017
C27**North Gellibrand Street Urban Conservation Precinct (HO4)**

This policy applies to all that land included in Heritage Overlay 4 *North Gellibrand Street (Between Stokes & Symonds Street) Urban Conservation Precinct*. This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. These are shown at the described location as shown on Policy Map 4:

- Esplanade Hotel Cnr. Symonds Street and Gellibrand Street;
- Queenscliff Hotel, including interior 16 Gellibrand Street;
- *Phoenix canariensis*, Canary Island Date Palm (T15)
- *Phoenix canariensis*, Canary Island Date Palm (T16)
- ‘Neptune Cottage’, 18 Gellibrand Street;
- ‘Clydes-ville’, 20 Gellibrand Street including ;
- *Quercus ilex*, Holm Oak (T14)
- ‘Caribou Cottage’, 22 Gellibrand Street;
- ‘Lisowen’, 32 Gellibrand Street including interior; and
- *Washingtonia robusta*, Washington Palm (T13)
- Ozone Hotel, 42 Gellibrand Street, including interior;
- ‘Lathamstowe’, 44 Gellibrand Street house including interior; and
- *Olea europaea ssp. europaea*, Olive (T6)
- *Cordyline australis*, Cordyline (T7)
- *Cordyline australis*, Cordyline (T8)
- *Cordyline australis*, Cordyline (T9)
- *Photinia serrulata* (T10)
- *Rhamnus alaternus* Italian Buckthorn (T11)
- Stokes St *Rhamnus alaternus*, Italian Buckthorn (T12)

Objectives

- To protect the unique skyline of turreted and towered roofs.
- To retain the relationship of ‘Lathamstowe’ and the Ozone Hotel- the two largest buildings in the area - to the topography of the area, forming as they do, a focal point for the town.
- To retain the combination of residential, recreational and commercial usage reflected in the style and type of buildings.
- To protect the variety of residential types, building styles and materials which represent development in Queenscliff over one hundred years.
- To maintain the relationship of the parks to the precinct in providing a definite boundary and sense of enclosure.
- To encourage the use of the traditional building design of the precinct, which includes pitched roofs, broken facades, verandahs, tall rectangular window openings and chimneys.

- To encourage the use of the traditional building material of the precinct, being rendered and exposed brickwork, weatherboards, corrugated iron and slate roofs, timber door and window joinery, and tiled and timbered verandahs.
- To maintain, where appropriate, and encourage traditional front fencing, which includes pickets, corrugated iron with timber capping or corrugated iron and cast iron panels.
- To retain the historic integrity of the precinct in any planting program.

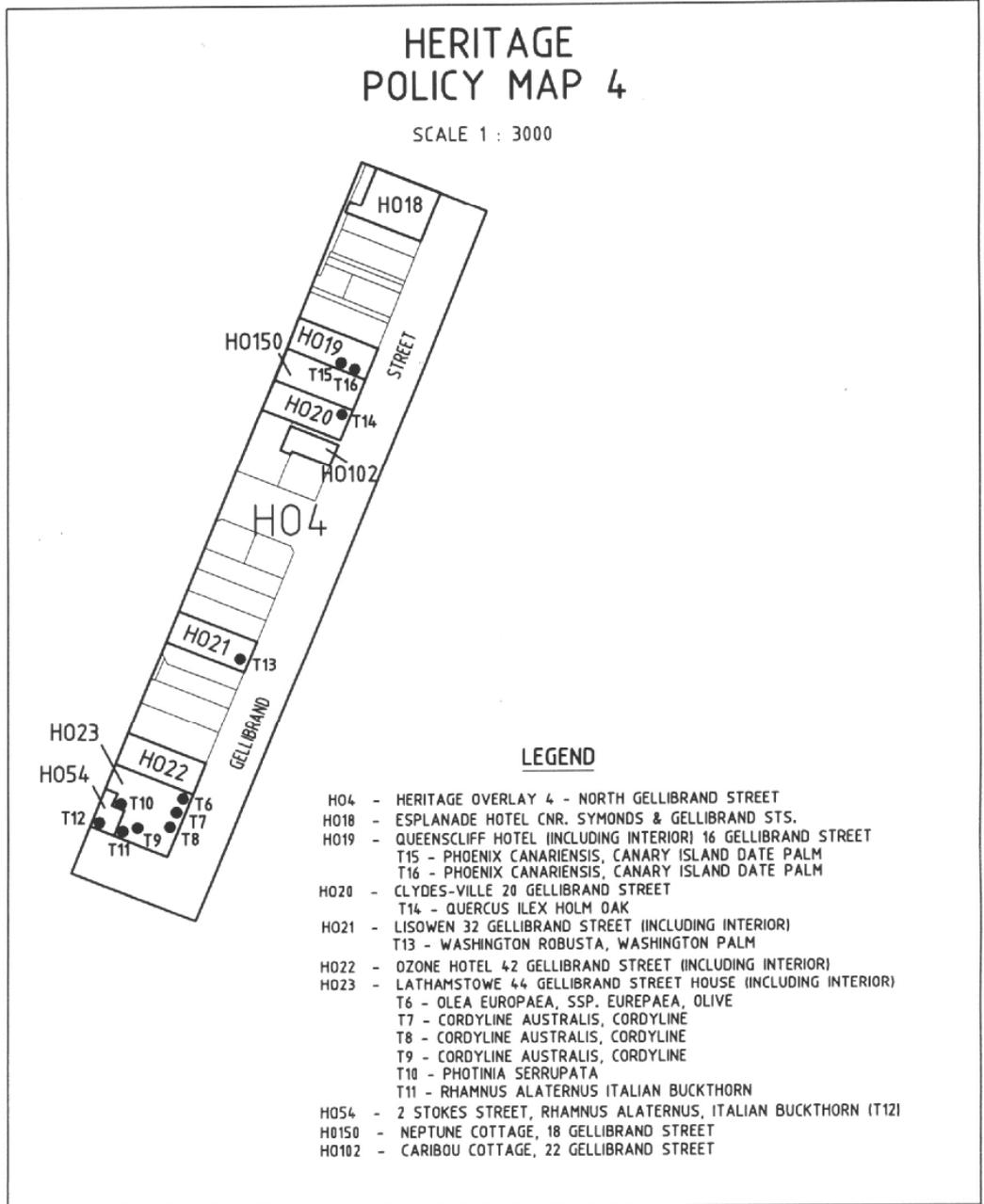
Policy

It is policy that:

- The policy objectives are considered in the assessment of any planning permit application.
- Preference will be given to buildings that incorporate the following design characteristics:
 - pitched corrugated iron or slate roofs;
 - broken front facades;
 - tall rectangular timber-framed windows;
 - horizontal timber weatherboard or brick walls;
 - verandahs; and
 - picket, corrugated iron with timber capping or corrugated iron and cast iron panel fencing.
- In carrying out buildings and works, the following will apply:
 - the frontage setback should be the same as the setbacks of adjacent buildings, or if these are different, the setback may be between the setbacks of adjacent buildings;
 - buildings exceeding two storeys will be discouraged;
 - fences exceeding 1400 mm will be discouraged within 10 metres of Gellibrand Street, except where the fence is behind the facade.

HERITAGE POLICY MAP 4

SCALE 1 : 3000



22.02-5 South Gellibrand Street Urban Conservation Precinct (HO5)

11/05/2017
C27

This policy applies to all land included in Heritage Overlay Schedule 4 – *North Gellibrand Street (Between Stokes & Symonds Street) Urban Conservation Precinct*.

This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. These are shown at the described location as shown on Heritage Policy Map 5:

- ‘Warraine’, 50 Gellibrand Street;
- Pilot's Row, cottages including interior, 60-62 Gellibrand Street;
- Pilot's Row (duplex) including interior, 66-68 Gellibrand Street;
- Captain Bower Cottage, 1 St. Andrews Street.

Objectives

- Protect the Pilots' Row and their associated operations.
- Protect and enhance the end of King Street, the main road into the town of Queenscliff, and the sense of approach along Gellibrand Street.
- Retain the special character of the precinct, which includes a number of significant residential buildings.
- Encourage the use of the traditional building materials of the precinct, being weatherboard walls, timber-framed windows, corrugated iron roofs and brick chimneys.
- Encourage use of the traditional front fencing of the precinct, which includes pickets, corrugated iron or capped paling.
- Retain the soft landscape interface between Citizens Park and Gellibrand Street and the natural bushy quality between the precinct and the foreshore.
- Encourage use of the traditional building design of the precinct, which includes complex hip and gable roofs, verandahs, vertical rectangular windows and broken facades.
- Retain the historic integrity of the precinct in any planting program.

Policy

It is policy that:

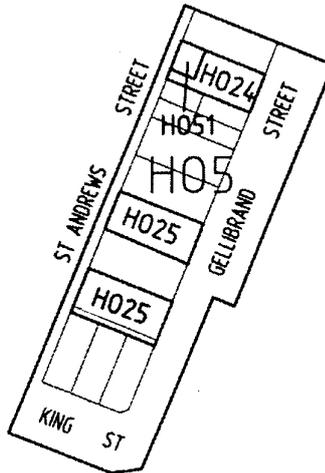
- The policy objectives are considered in the assessment of any planning permit application.
- Preference will be given to buildings that incorporate the following design characteristics:
 - corrugated iron pitched roofs;
 - broken front facades;
 - vertical rectangular timber windows;
 - horizontal timber weatherboard walls;
 - verandahs;
 - traditional fencing materials and construction techniques.
- In carrying out buildings and works, the following will apply:

- the frontage setback should be the same as the setbacks of adjacent buildings, or if these are different, the setback may be between the setbacks of adjacent buildings;
- the width of the facade should not be greater than any other buildings in the precinct;
- buildings exceeding two storeys will not be encouraged;
- fences should not exceed:
 - for the frontage - 1300 mm;
 - for side, rear or for vacant land - 2000 mm.

For proposals that seek to vary the policy requirements, the responsible authority will consider as appropriate, the extent to which it can be verified by photographic or other historical evidence that an equivalent structure once existed on the site.

HERITAGE POLICY MAP 5

SCALE 1 : 2500



LEGEND

- H05 - HERITAGE OVERLAY 5 - PILOTS ROW
- H024 - WARRAINE, HOUSE 50 GELLIBRAND STREET
- H025 - PILOTS ROW, COTTAGES (INCLUDING INTERIOR) 60-62 GELLIBRAND STREET
- H025 - PILOTS ROW, DUPLEX (INCLUDING INTERIOR) 66-68 GELLIBRAND STREET
- H051 - CAPTAIN BOWERS COTTAGE DWELLING, 1 ST. ANDREWS STREET

22.02-6

11/05/2017
C27

Hesse Street Residential Urban Conservation Precinct (HO6)

This policy applies to all land included in Heritage Overlay Schedule 6 – *Hesse Street Residential Urban Conservation Precinct*.

This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. This is shown at the described location as shown on the Heritage Policy Map 6:

- St. Andrews Uniting Church, 83 - 89 Hesse Street;
- Seaview Guest House, 86 Hesse Street;
- 88 Hesse Street, dwelling;
- ‘Coombe Lodge’, 90 Hesse Street, house;
- ‘Kelvinargh’, 93 Hesse Street;
- ‘Warley Cottage’ (duplex), 94 Hesse Street;
- ‘Shenfield’ (duplex), 96 Hesse Street;
- ‘Carnbrea’, 95 Hesse Street;
- ‘Romford’, 105 Hesse Street;
- ‘Navestock’, 107 Hesse Street;
- ‘Mythian’, 12 King Street.

Objectives

- To enhance the established elm tree planting and roadway in its basic nineteenth century layout, which includes a central sealed carriageway gravel verge and timber carbide stone gutter on the west side, and grassed verge and drainage ditch on the east side.
- To retain a clear division between the residential portion of Hesse Street and the main commercial centre included in Heritage Overlay Schedule 7.
- To protect and enhance this section of Hesse Street as one of the main entrances to the centre of Queenscliff.
- To encourage the traditional front fencing used in the precinct, which includes low pickets, twisted wire and corrugated iron.
- To encourage the use of the traditional building design of the precinct, which include pitched roofs, broken facades and verandahs or porticos.
- To prevent the erection of advertising signs and other like devices which will detract from the historic or architectural character of the precinct.
- To retain the historic integrity of the precinct in any planting program.

Policy

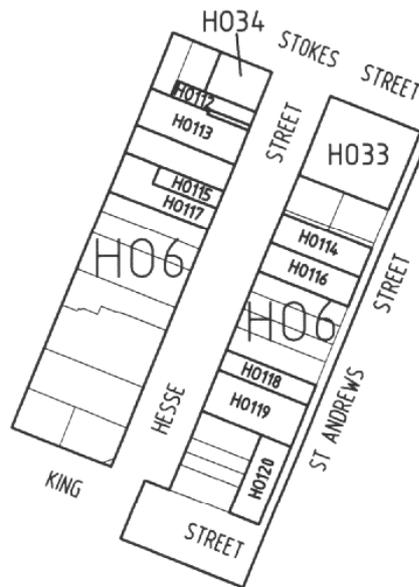
It is policy that:

- The policy objectives are considered in the assessment of any planning permit application.
- Preference will be given to buildings that incorporate the following design characteristics:

- corrugated iron pitched roofs;
 - broken front facades;
 - vertical rectangular timber windows;
 - horizontal timber weatherboard walls;
 - verandahs;
 - traditional fencing materials and construction techniques.
- In carrying out buildings and works the following will apply:
 - the frontage setback should be the same as the setbacks of adjacent buildings, or if these are different, the setback may be between the setbacks of adjacent buildings;
 - the width of the facade of a dwelling should not be greater than 10 metres;
 - buildings exceeding one storey will not be encouraged;
 - the highest point of the roof of a building should not be greater than the highest adjacent building;
 - fences exceeding 1300 mm within 10 metres of Hesse Street will not be encouraged, except where the fence is behind the facade.
 - For proposals that seek to vary the policy requirements, the responsible authority will consider, as appropriate, the extent to which it can be verified by photographic or other historical evidence that an equivalent structure once existed on the site.

HERITAGE POLICY MAP 6

SCALE 1 : 2500



LEGEND

- H06 - HERITAGE OVERLAY 6 - HESSE STREET RESIDENTIAL
- H033 - ST. ANDREWS CHURCH, 83-89 HESSE STREET
- H034 - SEAVIEW GUEST HOUSE, 86 HESSE STREET
- H0120 - MYTHIAN, 12 KING STREET
- H0112 - DWELLING, 88 HESSE STREET
- H0113 - COOMBE LODGE, 90 HESSE STREET, HOUSE
- H0114 - KELVINARGH, 93 HESSE STREET
- H0115 - WARLEY COTTAGE (DUPLIX), 94 HESSE STREET
- H0116 - CARNBREA, 95 HESSE STREET
- H0117 - SHENFIELD (DUPLIX), 96 HESSE STREET
- H0118 - ROMFORD, 105 HESSE STREET
- H0119 - NAVESTOCK, 107 HESSE STREET

22.02-711/05/2017
C27**Hesse Street Commercial Urban Conservation Precinct (HO7)**

This policy applies to all land included in Heritage Overlay Schedule 7 – *Hesse Street Commercial Urban Conservation Precinct*.

This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. This is shown at the described location as shown on the Heritage Policy Map 7:

- 18 Hesse Street, (former Victoria Hotel);
- Queenscliff Post Office, 47 Hesse Street;
- ‘Sea View House’, 27 Hesse Street, including interior; and
 - *Schinus molle*, *Pepper Tree* (T18)
 - *Ficus macrophylla*, *Moreton Bay Fig* (T19)
 - *Phoenix canariensis*, *Canary Island Date Palm* (T20)
- ‘Vue Grand’ Guest House, 46 Hesse Street, including interior; and
 - *Phoenix canariensis*, *Canary Island Date Palm* (T24)
- Free Public Library, 55 Hesse Street;
 - *Ficus macrophylla*, *Moreton Bay Fig* (T21)
- Shop and Dwelling, 58 Hesse Street;
- ‘Olinda’, house, 59 Hesse Street;
- Shop and Dwelling, 60 Hesse Street;
- ‘Oceania’, house, 61 Hesse Street;
- ‘Doongara’, house, 62 Hesse Street;
- Shop, 72 Hesse Street;
- Former Bank of Victoria, 76 Hesse Street;
- Shop and Dwelling, 80 Hesse Street;
- Former Methodist Church, 79 Hesse Street;
- Former Methodist Sunday School, 81 Hesse Street; including
 - *Cupressus macrocarpa*, *Monterey Cypress* (T23)
- 18 Stokes Street.

Objectives

- To retain the diverse historic and architectural character of the area, and the mixture of commercial, public, residential and community building types which together form the commercial centre of Queenscliff.
- To retain this part of Hesse Street as the commercial centre of Queenscliff.
- To preserve, maintain and enhance key corner buildings, including the Post Office, the Vue Grand Guest House, The Wesleyan Chapel, No. 43-45 Hesse Street and 42-44 Hesse Street.
- To retain bluestone kerbing and guttering as a feature of the streetscape.

- To retain the continuity and uniformity of facades at street level on the west side of the street in particular, and the more random nature of facades on the east side of the street.
- To prevent the erection of advertising signs and other like devices which will detract from the historic or architectural character of the precinct.
- To maintain the open space in front of the Historical Centre building (Field Park).

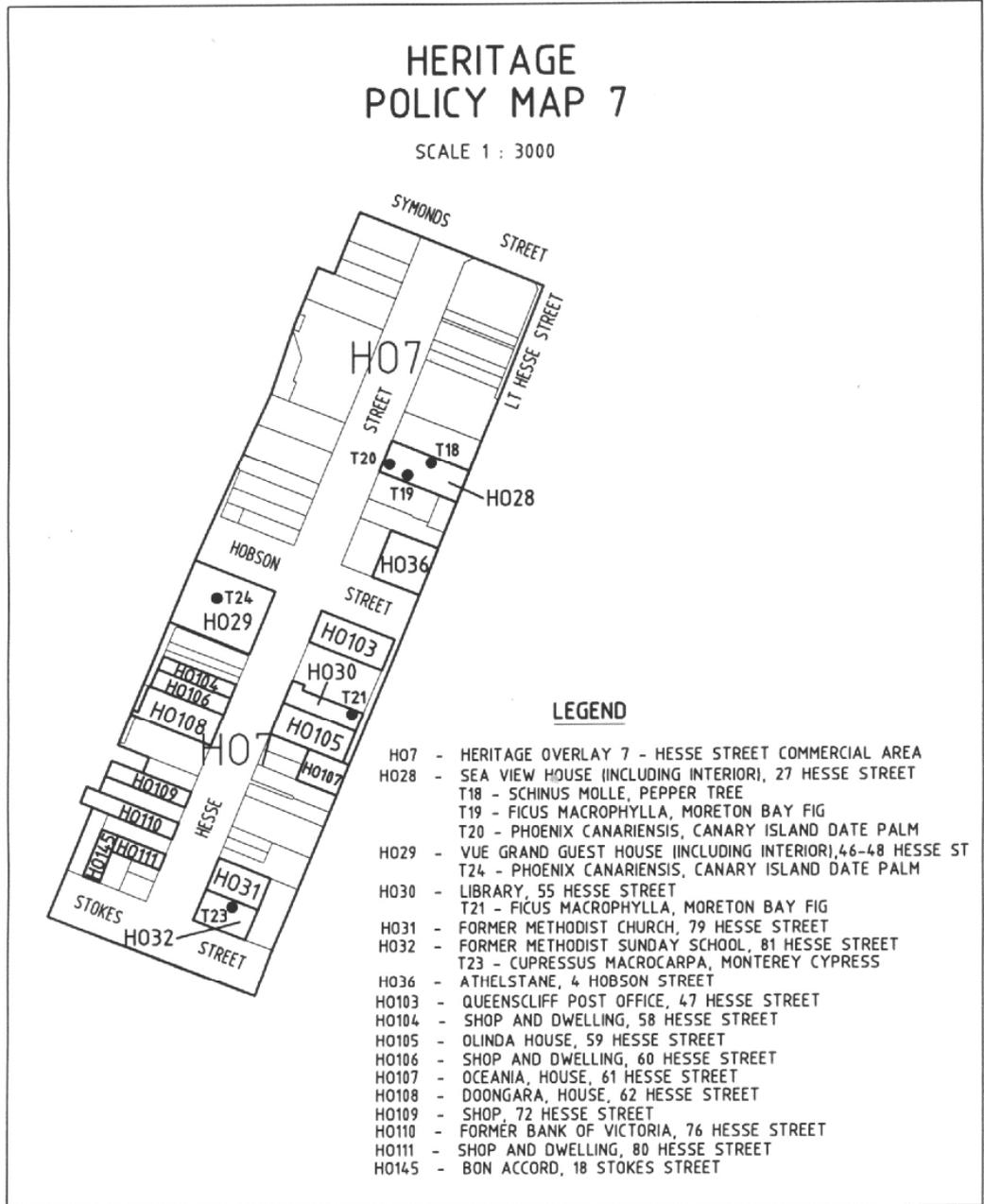
Policy

It is policy that:

- The policy objectives are considered in the assessment of any planning permit application.
- Preference will be given to buildings that incorporate the following design characteristics:
 - corrugated iron pitched roofs;
 - continuous facades and narrow eaves;
 - vertical rectangular timber or metal windows;
 - timber weatherboard, plain, painted or rendered brick;
 - verandahs;
 - to retain bluestone kerbing and guttering as a feature of the streetscape.
- In carrying out buildings and works, the following will apply:
 - the frontage setback should be the same as the setbacks of adjacent buildings, or if these are different, the setback may be between the setbacks of adjacent buildings;
 - proposals exceeding two storeys will be discouraged;
 - signs that project at right angles to the face of a building above the ground floor ceiling height will be discouraged; and
 - proposals which require trees to be destroyed, felled, lopped, ring-barked or uprooted except as otherwise permitted, will be discouraged. This does not apply to trees which pose an immediate danger to people or property.

HERITAGE POLICY MAP 7

SCALE 1 : 3000



22.02-8

11/05/2017
C27

Stokes Street Urban Conservation Precinct (HO8)

This policy applies to all that land included in Heritage Overlay Schedule 8 – *Stokes Street Urban Conservation Precinct*.

This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. This is shown at the described location as shown on Heritage Policy Map 8:

- 32-36 Stokes Street, Gordon Terrace.

Objectives

- To retain the distinctive and imposing continuous Victorian streetscape - a streetscape which is unique to Queenscliff.
- To retain those other streetscape qualities which include the wide gravel verge to the central bitumen carriageway.
- To maintain, where appropriate, and encourage the traditional front fencing of the precinct which includes low pickets.
- To prevent the erection of advertising signs and other like devices, which will detract from the historic or architectural character of the precinct.;
- To retain the historic integrity of the precinct in any replanting program.

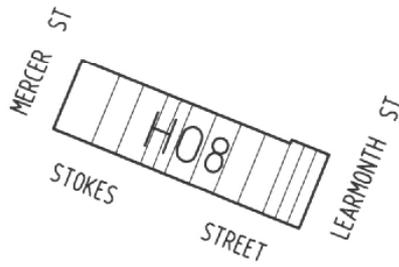
Policy

It is policy that:

- The policy objectives are considered in the assessment of any planning permit application.
- In carrying out buildings and works, the following will apply:
 - fences should not exceed 1400 mm within 10 metres of Stokes Street, except where the fence is behind the facade.
 - signs should not project perpendicular to the face of a building above the ground floor ceiling height.
- For proposals that seek to vary the policy requirements, the responsible authority will consider, as appropriate, the extent to which it can be verified by photographic or other historical evidence that an equivalent structure once existed on the site.

HERITAGE POLICY MAP 8

SCALE 1 : 2000



LEGEND

H08 - HERITAGE OVERLAY 8 - STOKES STREET

22.02-9 Botanic Gardens Urban Conservation Precinct (HO9)

11/05/2017
C27

This policy applies to all that land included in Heritage Overlay, Schedule 9 – *Botanic Gardens Urban Conservation Precinct*.

This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. This is shown at the described location as shown on the Heritage Policy Map 9:

- 2 Flinders Street;
 - *Araucaria heterophylla*, Norfolk Island Pine (T56)
- ‘Sefton’, 22 King Street;
- ‘Alikum’, 24 King Street;
- ‘Rosenfeld’, 26 King Street;
- Royal Hotel, 34 - 38 King Street, including interior;
- ‘The Ridge’, 68 Mercer Street;
- Bungalow Cottage, 78 Mercer Street;
- ‘Warringah’, 80 Mercer Street, including interior; and
 - *Ficus macrophylla*, Moreton Bay Fig (T57)

Objectives

- To retain the street layout and construction around the park.
- To enhance the relationship of buildings to the Royal Hotel as the key corner building linking both Mercer and King Streets.
- To enhance the sheltered effect provided by the Gardens to houses in Mercer Street.
- To maintain the Gardens as a passive recreation area and to enhance, and protect the sheltered quality of the Gardens as a passive recreation area.
- To encourage the conservation of indigenous and exotic vegetation in the Gardens.
- To protect the Gardens landscape qualities from visually intrusive and inappropriate development.
- To encourage the use of the traditional building design of the precinct which includes single fronted narrow facades or double fronted large facades, pitched hip roofs, vertical rectangular window openings and verandahs.
- To encourage the use of the traditional building materials of the precinct which includes weatherboards, rendered brick work, slate roofs, timber verandahs and door and window joinery and painted finishes.
- To maintain, where appropriate, and encourage traditional front fencing with pickets or twisted wire.
- To retain the historic integrity of the precinct in any replanting program.
- To maintain the narrow bitumen carriageway in King Street and wide gravel verges, and the nature strip in King and Mercer Streets.

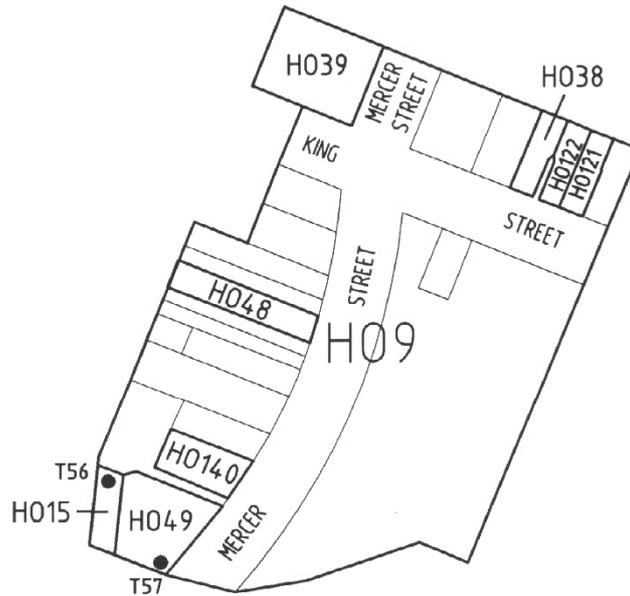
Policy

It is policy that:

- The policy objectives are considered in the assessment of any planning permit application.
- Preference will be given to buildings that incorporate the following design characteristics:
 - timber verandahs;
 - traditional fencing materials and construction techniques;
 - pitched hip slate roofs;
 - unbroken and broken front facades or double fronted large facades;
 - vertical rectangular timber-framed windows;
 - horizontal timber weatherboard or stuccoed brick walls.
- In carrying out buildings and works, the following will apply:
 - the frontage setback should be the same as the setbacks of adjacent buildings, or if these are different, the setback may be between the setbacks of adjacent buildings;
 - buildings exceeding one storey will not be encouraged;
 - the highest point of the roof of a building should not be greater than the highest adjacent building;
 - fences should not exceed 1400 mm within 10 metres of Mercer or King Streets, except where the fence is behind the facade;
- For proposals that seek to vary the policy requirements, the responsible authority will consider, as appropriate, the extent to which it can be verified by photographic or other historical evidence that an equivalent structure once existed on the site.

HERITAGE POLICY MAP 9

SCALE 1 : 2500



LEGEND

- H09 - HERITAGE OVERLAY 9 - BOTANIC GARDENS
- H015 - 2 FLINDERS STREET
- T56 - ARAUCARIA HETEROPHYLLA NORFOLK ISLAND PINE
- H038 - ROSENFELD, 26 KING STREET
- H039 - ROYAL HOTEL (INCLUDING INTERIOR), 34-38 KING STREET
- H048 - THE RIDGE, 68 MERCER STREET
- H049 - WARRINGAH (INCLUDING INTERIOR), 80 MERCER STREET
- T57 - FICUS MACROPHYLLA, MORETON BAY FIG
- H0121 - SEFTON, 22 KING STREET
- H0122 - ALIKUM, 24 KING STREET
- H0140 - BUNGALOW COTTAGE, 78 MERCER STREET

22.02-10 Central Queenscliff Urban Conservation Precinct (HO11)

11/05/2017
C27

This policy applies to all land included in Heritage Overlay Schedule 11 – *Central Queenscliff Urban Conservation Precinct*.

This policy also specifically applies to the following items of particular heritage significance to which special consideration should be given. This is shown at the described location as shown on Heritage Policy Map 11:

- Thanet Terrace, 34-44 Learmonth Street, 6 houses;
- 41-43 Learmonth Street, dwellings;
- Former Church of England Vicarage, 13 Mercer Street; and
 - *Including trees* (T34)
 - *Cupressus sempervirens*, Italian cypress (T36)
 - *Araucaria heterophylla*, Norfolk Island Pine (T37)
- ‘Clutha’, 20 Mercer Street, including interior;
- ‘Roseville’, 42 Mercer Street;
 - *Araucaria heterophylla*, Norfolk Island Pine
- ‘Bronte’, 11-13 Learmonth Street;
- ‘Nippy-Ville’, 26 Learmonth Street;
- 31 Learmonth Street, Dwelling;
- Former Cobb and Co Stables, 33 Learmonth Street;
- Town Hall, 48A Learmonth Street;
- 59 Learmonth Street, Dwelling;
- 64 Learmonth Street, Dwelling;
- 66 Learmonth Street, Dwelling;
- 72 Learmonth Street, Dwelling;
- 74 Learmonth Street, Dwelling;
- 26 Mercer Street, Dwelling;
- ‘Waitemata’, 51 Mercer Street;
- 5 Stevens Street, Dwelling;
- ‘Logan Bank Cottage’, 7 Stevens Street;
- ‘Sea View House’, 15-17 Stevens Street;
- ‘Bon Accord’, house, 18 Stokes Street;
- ‘Clifton House’, house, 16 Stokes Street;
- 3 Stevens Street;
- 54 Mercer Street;
- 24 Stokes Street;
- 22 Stokes Street;
- 52 Mercer Street;

- 60 Mercer Street, former shop;
- 24 Mercer Street; and
 - *Phoenix canariensis*, Canary Island Date Palm
- Road reservation northeast side of Learmonth and King Streets intersection;
 - *Ficus platypoda*, Moreton Bay Fig
- Road reservation between King and Stokes Streets;
 - *Ficus macrophylla*, Moreton Bay Fig
- Hobsons Street road reserve between Mercer Street and Learmonth Street
 - *Ficus macrophylla*, Moreton Bay Fig.

Objectives

- To provide an appropriate setting for the urban heritage and historically significant buildings of Queenscliff;
- To ensure that new development in the precinct does not detract from the significance of the heritage places identified by Heritage Overlays Schedules 1-10;
- To ensure that any buildings or works, or alterations or additions to any building or works, are in harmony with the character of heritage places identified in the precinct.
- To conserve those trees which contribute to the historic and landscape interest of the precinct or the town in general;
- To encourage new planting to respect the historic significance of the buildings listed in the precinct.
- To protect the uniformity in scale and massing of the buildings.
- To protect the prominence of the church and old parsonage on the sky line of the town and the dramatic view of the church itself.

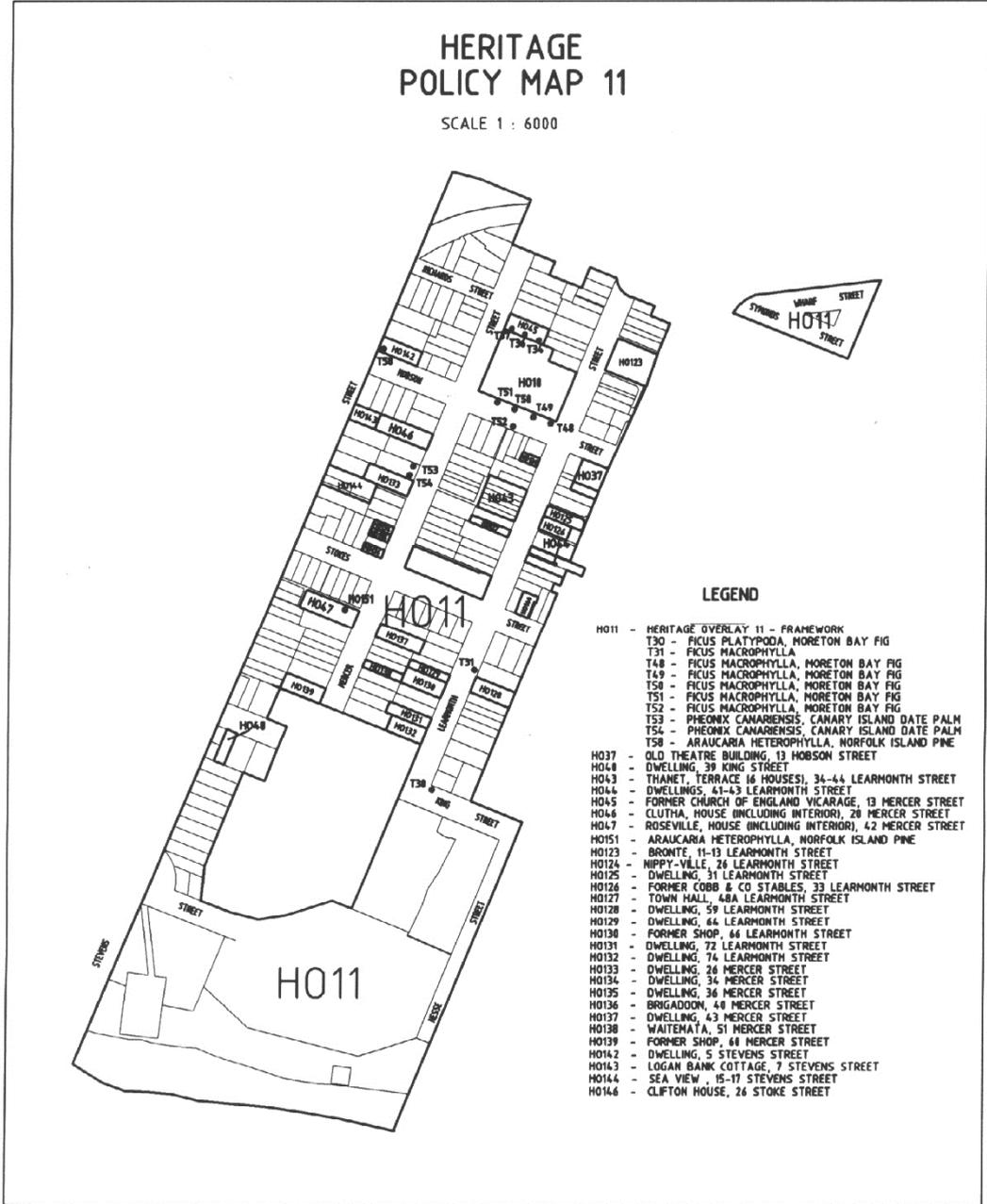
Policy

It is policy that:

- The policy objectives are considered in the assessment of any planning permit application.
- In carrying out buildings and works, the following will apply:
 - the frontage setback should be the same as the setbacks of adjacent buildings, or if these are different, the setback may be between the setbacks of adjacent buildings; and
 - buildings should not exceed two storeys.
- For proposals that seek to vary the policy requirements, the responsible authority will consider, as appropriate, the extent to which it can be verified by photographic or other historical evidence that an equivalent structure once existed on the site.

HERITAGE POLICY MAP 11

SCALE 1 : 6000



LEGEND

- H011 - HERITAGE OVERLAY 11 - FRAMEWORK
- T30 - FICUS PLATYPODA, MORETON BAY FIG
- T31 - FICUS MACROPHYLLA
- T48 - FICUS MACROPHYLLA, MORETON BAY FIG
- T49 - FICUS MACROPHYLLA, MORETON BAY FIG
- T50 - FICUS MACROPHYLLA, MORETON BAY FIG
- T51 - FICUS MACROPHYLLA, MORETON BAY FIG
- T52 - FICUS MACROPHYLLA, MORETON BAY FIG
- T53 - PHEONIX CANARIENSIS, CANARY ISLAND DATE PALM
- T54 - PHEONIX CANARIENSIS, CANARY ISLAND DATE PALM
- T58 - ARAUCARIA HETEROPHYLLA, NORFOLK ISLAND PINE
- H037 - OLD THEATRE BUILDING, 13 HOBSON STREET
- H044 - DWELLING, 39 KING STREET
- H043 - TRIANET, TERRACE 16 HOUSES), 34-44 LEARMONTH STREET
- H044 - DWELLINGS, 41-43 LEARMONTH STREET
- H045 - FORMER CHURCH OF ENGLAND VICARAGE, 13 MERCER STREET
- H046 - CLUTHA, HOUSE (INCLUDING INTERIOR), 28 MERCER STREET
- H047 - ROSEVILLE, HOUSE (INCLUDING INTERIOR), 42 MERCER STREET
- H051 - ARAUCARIA HETEROPHYLLA, NORFOLK ISLAND PINE
- H0123 - BRONTE, 11-13 LEARMONTH STREET
- H0124 - NIPPY-VILLE, 26 LEARMONTH STREET
- H0125 - DWELLING, 31 LEARMONTH STREET
- H0126 - FORMER COBB & CO STABLES, 33 LEARMONTH STREET
- H0127 - TOWN HALL, 48A LEARMONTH STREET
- H0128 - DWELLING, 59 LEARMONTH STREET
- H0129 - DWELLING, 64 LEARMONTH STREET
- H0130 - FORMER SHOP, 66 LEARMONTH STREET
- H0131 - DWELLING, 72 LEARMONTH STREET
- H0132 - DWELLING, 74 LEARMONTH STREET
- H0133 - DWELLING, 26 MERCER STREET
- H0134 - DWELLING, 34 MERCER STREET
- H0135 - DWELLING, 36 MERCER STREET
- H0136 - BRIGADOOM, 48 MERCER STREET
- H0137 - DWELLING, 43 MERCER STREET
- H0138 - WAITENATA, 51 MERCER STREET
- H0139 - FORMER SHOP, 61 MERCER STREET
- H0142 - DWELLING, 5 STEVENS STREET
- H0143 - LOGAN BANK COTTAGE, 7 STEVENS STREET
- H0144 - SEA VIEW, 15-17 STEVENS STREET
- H0146 - CLIFTON HOUSE, 26 STOKE STREET

22.02-11 Point Lonsdale Road / Point Lonsdale Lighthouse Central (HO84)

11/05/2017
C27

This policy applies to all land included in Heritage Overlay Schedule 84 – Point Lonsdale Road / Point Lonsdale Lighthouse.

This policy also specifically applies to the following items of particular heritage significance on Heritage Policy Map 76 to which special consideration should be given:

- Point Lonsdale Lighthouse;
- Buckley’s Cave;
- Rocket Shed (powder store);
- Pier and Pier buildings;
- Fortifications, including the reinforced spotlight emplacements and viewing towers; Site of the old timber lighthouse and keepers quarters.

Objectives

- To retain and protect those parts of the precinct which reveal evidence of early development at this part of The Point.
- To retain the typical coastal species of vegetation which make the precinct one of natural beauty and environmental significance.

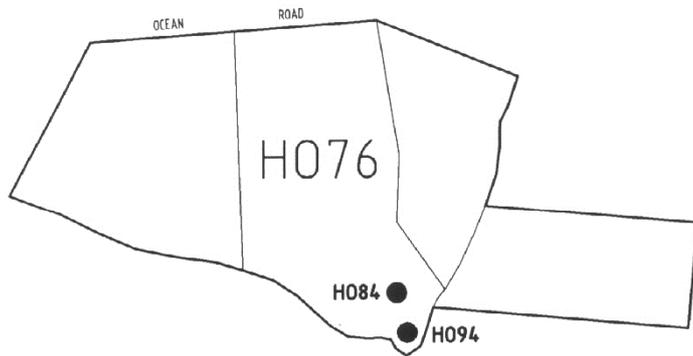
Policy

It is policy that:

- The policy objectives are considered in the assessment of any planning permit application.
- The bulk, location and external appearance of any proposed buildings or works harmonise in character and appearance with the building, works and objects of the precinct..

HERITAGE POLICY MAP 76

SCALE 1 : 5000



LEGEND

- H076 - HERITAGE OVERLAY 76 - POINT LONSDALE LIGHTHOUSE
- H084 - POINT LONSDALE LIGHT HOUSE
- H094 - BUCKLEY'S CAVE