

01/08/2013
C25**SCHEDULE 3 TO THE DESIGN AND DEVELOPMENT OVERLAY**Shown on the planning scheme map as **DDO3****MELVILLE OVAL / LONSDALE STREET PRECINCT, HAMILTON****1.0 Design objectives**01/08/2013
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To improve the built form presentation along the southern edge of Lonsdale Street to create a strong urban form.

To create a small civic space along Lonsdale Street that will form a meeting place, and a node that will connect Melville Oval through to the central business district.

To define the north-south pedestrian connection between Lonsdale Street and Gray Street as the major pedestrian thoroughfare.

To improve laneway connections for pedestrian permeability throughout the Lonsdale/Brown/Gray/Thompson Street block.

To consolidate inner block car parking in a multi-story car park area, activating the central block area and creating development opportunities.

To create inner block pocket parks, surrounded by active edges that would be created from car park consolidation and development opportunities.

To remove obstacles to key vistas from the inner block to Melville Oval, particularly along the north-south pedestrian connection.

To implement the *Melville Oval /Lonsdale Street Precinct Masterplan, 2011*.

2.0 Buildings and works01/08/2013
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Buildings and works should be constructed to meet the following requirements:

Height and scale

- Buildings on Lonsdale Street and overlooking Melville Oval should create a consolidated, defined edge of four-five storey building development.
- Buildings along Gray Street, between Brown and Thompson Streets, should not exceed a maximum building height of 2 storeys.
- In all other areas, buildings should not exceed a maximum building height of 3 storeys.
- The scale of buildings should relate to abutting development, wherever possible.

Building setbacks and form

- Buildings should have a zero front setback to all retail streets in order to achieve good retail activation at ground level.
- Upper level setbacks to the street frontage should be provided where it is necessary to match and abutting parapet and where necessary on Lonsdale Street above the third storey.
- Buildings within the retail core should be built to side boundaries and attached.
- Active frontages should be provided along all street edges.

- Development on Lonsdale Street should create a new landmark building which would frame the streetscape and improve the amenity of the urban form.
- Buildings and works should be designed to respond to pedestrian connections and pocket parks identified in the *Melville Oval and Lonsdale Street Precinct Masterplan, 2011*.

Building façade and frontage treatments

- Wide building frontages should be vertically divided in a manner that respects the traditional 'grain' of the streetscape.
- Buildings at ground level on retail streets should be largely glazed and activated with display and building entry. A minimum of 70% of the street frontage should be transparent.
- Fenestration should be designed in sympathy with the proportions of other window openings in the street.
- On front and side elevations, floor levels should be defined horizontally.
- The front façade of retail buildings should be defined by a horizontal parapet or fascia. Parapets should match those along the streetscape to ensure a continuity of frontage form.
- Buildings on Gray Street between Brown and Thompson Street should incorporate decorative parapets and a fine grain.

Building materials

- Traditional building materials, including masonry, render, timber lining and exposed brickwork in association with painted surfaces when adapting existing buildings, should be used in an innovative manner.
- Buildings material colours should complement those found in the local landscape and/or streetscape.
- Retail building elevations should use a combination of materials with a diversity of texture to avoid single uniform surfaces that project 'bulk'.

Exemption from notice and review

An application to construct a building or construct or carry out works is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the Act.

3.0

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Advertising signs

In addition to the requirements at Clause 52.05, advertising signs should meet the following requirements:

- Signs should be co-ordinated and compatible with the building design.
- Signs should be consolidated into a single under awning sign and a fascia panel located below the parapet.
- Sky, above verandah and pole signs should be avoided.

4.0

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Decision guidelines

Before deciding on an application the responsible authority must consider:

- Whether buildings and works establish an active street frontage.
- Whether buildings and works are consistent with the Melville Oval and Lonsdale Street Precinct Masterplan (2011) and Hamilton City Centre Urban Design Framework and Design Guidelines (2011).
- Whether the design of the development considers key views, sight lines or heritage settings.
- Whether through block laneways are provided for and enhanced by development.
- The selection of building materials, colours and finishes.
- Whether the design considers energy efficiency and sustainable design principles.
- Whether the proposed advertising signage is a recessive element in the streetscape.

5.0

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Reference documents

Melville Oval / Lonsdale Street Precinct Masterplan (2011)

Hamilton City Centre Urban Design Framework and Design Guidelines (2011)


















6.0 Melville Oval/Lonsdale Street Precinct Masterplan

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hamilton structure plan

melville oval / lonsdale st precinct masterplan

legend

- precinct boundary 
- development sites 
- pocket parks / open space 
- parking and load areas 
- existing buildings 
- feature paving 
- heritage listed buildings 
- new active edge 
- existing gateways 
- existing fence 
- pedestrian connection 
- vehicle circulation 
- new monument or public art piece 
- existing memorial 
- existing vegetation 
- proposed feature vegetation 
- proposed vegetation 



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